

NO CONSTRUCTION SHALL START PRIOR TO ACQUIRING YOUR PERMITS!!

In order to speed up the approval process, please ensure you have completed the following:

1. Zoning Requirements

- Determine your zoning type BY USING THE Zoning map on our website or contact the Village Office. To view Zoning map on the website, go to [www.debden.ca/Development and Building](http://www.debden.ca/Development%20and%20Building).
- Once the zoning type has been determined, download the correct zoning information from Development/ Zoning on our website. This information will tell you everything you need to know about what you can and cannot do on your property.

2. Development/Building Permit Application

- Building permits will not be issued without a Development Permit. No deck or building over 100 ft² shall be placed or constructed until you have been issued a permit. No deck higher than 24" off the ground shall be constructed without a permit.
- Ensure you comply with the zoning requirements, including setback requirements.
- Complete the Permit Application and submit it to the Village office along with a complete set of building plans and the \$70.00 Development and SAMA Fee.
- Your application will be forwarded to CCA-SK Construction Code Authority to ensure it complies with the National Building Code Standards.
- Once the Village has received notification from CCA-SK that your building complies with the NBCS, along with confirmation of completed building value, you will be invoiced for the review costs as provided by CCA-SK. Once the invoice has been paid, the building permits will be issued.

If you have any questions, please call our office at (306) 724-2040 or email us at office@debden.ca.

Section 6(1) The Construction Codes Act (...the owner of each building in Saskatchewan shall ensure that the building is designed, constructed, erected, added to, placed, altered, repaired, renovated, demolished, relocated, removed, used or occupied in accordance with the construction standards.”

If you have any questions related to building standards, please call CCA-SK Construction Code Authority at (306) 370-2824 or email admin@ccask.ca.

Instructions on completing Development & Building Application Package:

- Complete ALL pages and submit it to the Village office, along with a site plan and the Application Fee of \$70.00. Discretionary Use will be determined in office when application is received.
- Site plan must be completed with all setbacks clearly marked from building to all 4 property lines, north direction, all accessory buildings and drainage direction.

Application for Building Permit

- Must be completed and submitted to the Village office, along with all required drawings, information and forms included with the Permit Application Checklist from CCA-SK.

Permit Application Checklist – CCASK

- CCA-SK supplies these forms that must be completed before the permit will be approved. Once approved by CCA-SK, their invoice will be issued
- To speed up the approval process ensure all forms are completed before returning.
- Any questions regarding Energy Efficiency Compliance or the Form can be made to CCA-SK at (306)370-2824.

Application for a Permit to Demolish or Move a Building

- Must be completed and submitted to the Village office for any building to be moved into or out of the municipality.
- Must be completed and submitted to the Village office for any building to be demolished within the municipality, along with the Demolition Permit Fee and deposit. The Village must be informed when the demolition is complete. We will inform SAMA of the removal of building so your property can be re-assessed.

All documents must be fully completed and submitted as one package or the documents will be returned which will delay the approval process.

E-transfer: villagedebden@sasktel.net

Cheque, cash or online payment if available through your banking institution.

VILLAGE OF DEBDEN

DEVELOPMENT PERMIT / BUILDING PERMIT APPLICATION (Check ALL ☐ that apply)

Box 400
Debden, SK
S0J0S0

TYPE OF WORK:	<input type="checkbox"/> NEW	<input type="checkbox"/> ADDITION	<input type="checkbox"/> ALTERATIONS	PERMIT NO:	OFFICE USE:			
	<input type="checkbox"/> REMOVAL	<input type="checkbox"/> DEMO	<input type="checkbox"/> RELOCATION					
LOCATION	PROJECT CIVIC ADDRESS:		LLD:	1/4:	SEC:	TWP:	RGE:	<input type="checkbox"/> W3M
	SUBDIVISION:		LOT:	BLK:	PLAN:		PARCEL:	

OWNER / CONTRACTOR	Owner		Company Name (if applicable)			
	Mailing Address		City		Prov	PC
	Phone (Check best use) <input type="checkbox"/> Cell <input type="checkbox"/> Other		Email (Most correspondence will be by email)			
	Contractor / Company		Phone		Email	

START DATE:	COMPLETION DATE:	ESTIMATED VALUE OF CONSTRUCTION:
NOTE: "Value" of construction is not the same as "cost" of construction; see bylaw for definition. A revised value may be determined.		

TYPE OF PROJECT	<input type="checkbox"/> RESIDENTIAL:	<input type="checkbox"/> SITE BUILT HOME	<input type="checkbox"/> RTM	<input type="checkbox"/> MOBILE HOME	<input type="checkbox"/> DECK	<input type="checkbox"/> DET GARAGE	<input type="checkbox"/> BSMT DEV
	DETAILED DESCRIPTION: (I.E. NEW CUSTOM HOME; RELOCATING EXISTING HOME; CONSTRUCTING NEW FOUNDATION FOR EXISTING HOUSE; DET. GARAGE; ETC.)						
	<input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL	<input type="checkbox"/> SHOP / STORAGE	<input type="checkbox"/> VEHICLE STORE/REPR	<input type="checkbox"/> RETAIL <input type="checkbox"/> OFFICE	<input type="checkbox"/> ASSEMBLY (I.E. RESTAURANT / CHURCH / HALL / GYM)	<input type="checkbox"/> CHANGE OF USE (Lot or Building)	<input type="checkbox"/> INCREASE INTENSITY (Lot or Building)
	OTHER / DETAILED DESCRIPTION: (I.E. COLD STORAGE; RENO SPACE FOR NEW COFFEE SHOP; TRUCK STORAGE & REPAIR W/ OFFICES; NEW HOTEL, ETC.) (Description of Proposed New Use, How is intensity increased- (more seating, additional floor area/new rooms)						

SUBMITTALS	<input type="checkbox"/> Site Plan Submitted	A SITE PLAN IS REQUIRED FOR ALL PROJECTS	
	<input type="checkbox"/> Drawings Submitted OR	Complete Drawing Package, including elevations, floor plans, sections, and details	Required for ALL projects, unless a deck or detached garage (use Worksheet)
	<input type="checkbox"/> Worksheet Submitted	CCASK Worksheet (in lieu of drawings); for decks and detached garage projects	See www.ccask.ca
	PERMIT APPLICATIONS WILL NOT BE PROCESSED UNTIL ALL REQUIRED INFORMATION HAS BEEN RECEIVED		

APPLICANT SIGNATURE	<p>I hereby acknowledge that I have read this application and certify that the information contained herein is correct.</p> <p>I hereby acknowledge that I understand that permission to begin building is not granted to me until a Building Permit signed by the building official, administrator, or administration staff is returned to me.</p> <p>I hereby agree to comply with the Building Bylaw of the local authority and acknowledge that it is my responsibility to ensure compliance with the Building Bylaw and Zoning Bylaw of the local authority and with any other applicable bylaws, acts and regulations regardless of any plan review or inspections that may or may not be carried out by the local authority or its authorized representative.</p> <p>I agree to perform all construction work solely in accordance & compliance with the information & plans provided by me in this application and will obtain all other work permits required in conjunction with my development.</p>	
	Applicant Signature	Date

FOR NEW CONSTRUCTION PROVIDE A DETAILED SITE PLAN, drawn to scale showing, with labels, the following existing and proposed information:

- a) a scale and north arrow;
- b) a legal description of the site;
- c) dimensions of site;
- d) bylaw site line setbacks including front, rear, and side yard requirements,
- e) site topography and special site conditions (which may require a contour map), including culverts, ditches, and any other drainage features,
- f) the location of any buildings, structures, easements, and dimensioned to the site lines;
- g) the location of trees and other vegetation, especially natural vegetation, street trees, and mature growth;
- h) proposed on-site and off-site services;
- i) a dimensioned layout of parking areas, entrances, and exits;
- j) abutting roads and streets, including service roads and alleys;
- k) an outline, to scale, of adjacent buildings on adjoining sites;
- l) fencing;
- m) proposed location of sewer and water lines;
- n) other, as required by the Development Officer or Council to effectively administer this Bylaw

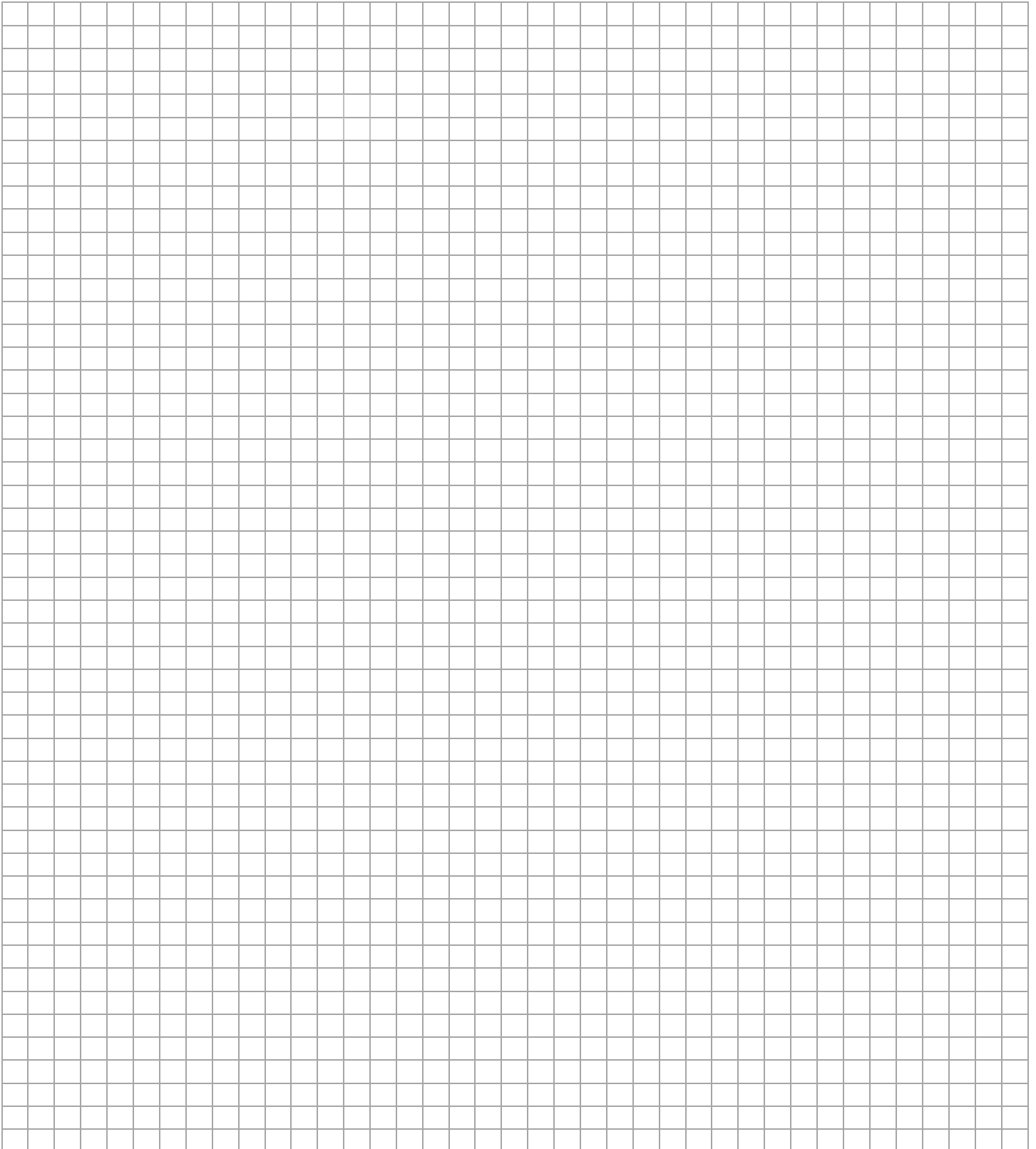
Mobile Homes: C.S.A.Z240 Approval Number (from Black and Silver Sticker)

Mobile Home date of Manufacture: _____

FOR CHANGE OF USE PROVIDE ADDITIONAL INFORMATION DETAILS SUCH AS:

- a) Existing Use of Building/Lot including existing size
- b) Proposed Use of Building/Lot including proposed size if changing
- c) Proposed construction or alterations to be done to meet the proposed use
- d) If increasing intensity- how will it be increased- More seating? More floor space? More rooms?
- e) What are the uses of the adjoining lots?
- f) Any additional relevant information.

VILLAGE OF DEBDEN
— SASKATCHEWAN —
SITE PLAN / VICINITY MAP



Additional Information

Please reference which section the additional information is referring too.

This image shows a full page of white paper with horizontal blue ruling lines. The lines are evenly spaced and run across the width of the page, providing a template for handwriting practice or general writing. There are no margins, text, or other markings on the paper.



NEW RTM / MODULAR DWELLING

In order to adequately and efficiently process a building permit application, the following information is required to be submitted electronically to the municipal office (some offices may accept paper submissions).

The applicant is required to check every box below and provide the applicable information to indicate that they fully understand what information is required for a complete application. Failure to check any box, provide all required information, or sign below will result in the application being tabled until all information is received.

	REQUIRED DOCUMENTATION / DESCRIPTION (All specified information listed under each box is required to be submitted; checking the box indicates you have included this information).	RESOURCES / WORKSHEETS / HELPFUL INFORMATION Go to www.ccask.ca.
R E Q U I R E D	<input type="checkbox"/> Permit Application: Ensure all contact info including email address is provided. Ensure to include Civic Address along with Lot, Block, and Plan, or Legal Land Location when not located in a subdivision.	Provided by municipal office, or CCASK online application where acceptable to the municipality.
	<input type="checkbox"/> Site Plan (often included with full professional construction plans) <ul style="list-style-type: none"> • Lot dimensions and shape, • Size and location of proposed house, • All dimensions from proposed house to property lines (ok to 'guess' if distance is very large), • Distance to other buildings, • North direction arrow. 	SAMPLE SITE PLAN See SPACIAL SEPARATION REQUIREMENTS for fire-protection requirements at side yards.
	<input type="checkbox"/> Spatial Separation Information This is related to where the building sits on the property / how close it is to property lines. The designer is to understand that notwithstanding Zoning setbacks, where the local Fire Department Response time cannot meet 10-minutes or less in 90% of their calls, there are more stringent requirements for the building face on the side yards built within 2m (8 feet) of the property line, such as no windows permitted, 5/8" drywall, and no combustible cladding.	BCB – SPATIAL SEPARATION – FDRT > 10 MIN. BCB – SPATION SEPARATION – FDRT < 10 MIN.
	<input type="checkbox"/> Complete Construction Plans Must include the following: <ul style="list-style-type: none"> • floor plans (room names, door and window size and locations, stair locations), • foundation plans (type, size of all elements, reinforcing, opening size and locations elevations), • construction cross sections (type and size of all structural elements including floor assemblies, wall assemblies, and roof assemblies), • tall wall designs (if applicable). 	SAMPLE FULL CONSTRUCTION DWGS See "WHEN IS AN ENGINEER REQUIRED" below. See 'TALL WALL DESIGN GUIDE' to determine if an engineer is required or comply with acceptable framing sizes and techniques.
	<input type="checkbox"/> Energy Code Compliance Designs (DRAFT) PRESCRIPTIVE PATH: Plans must show the following: <ul style="list-style-type: none"> • minimum R50 roof space insulation for flat roof, R?? cathedral. • minimum R22 wall and rim joist insulation, • minimum R14 insulated detail at foundation, or ICF. PERFORMANCE MODEL PATH: Submit the Energy Modelling Report from a qualified energy modeler; R-Value information on plans must meet the values shown in the report.	

	<input type="checkbox"/> CSA Label Information or Construction Inspection Reports <ul style="list-style-type: none"> Where constructed by a CSA Certified builder, include the CSA reference documentation. Where constructed off site by a non-CSA Certified builder, the framing and insulation / air-vapour barrier inspection reports (must be completed by a Licensed Building Official) are attached. 	
O T H E R	<input type="checkbox"/> Spray Foam Installation: Have spray foam installation contractor submit the CCASK Worksheet or their own install data sheet. <i>*IMPORTANT: DO NOT USE 'FROTH PACK' or SIMILAR 'DIY' retail products as insulation, air-barrier, or vapour barrier. Owner installed spray foam products do not comply.</i>	WS – SPRAY FOAM TECH DATA SHEET

When is an Engineer Required?

Professionally designed and sealed drawings, or drawings with professional engineer design review and sealed are required for the following conditions:

- When the municipality bylaw requires all house foundations are designed by professional (engineer or architect).
- Foundations supported on piles (screw piles / concrete piles) that support living space. This can be grade-beam, full foundation wall, or pier-type.
 - I.e. House with GB&P foundations, large additions with GB&P foundation, attached garage with living space over it, etc. (Attached garage foundations that do not support living space do not require engineered plans).
- Walk-out foundations.
- When set out, required, or recommended by a geo-technical investigation.
- Substantial 'Tall Wall' systems.
- Where substantial portions of foundation walls are laterally unsupported.
- Where preserved wood foundations have differential backfill heights greater than 600 mm.
- Foundations and structural components of below-grade entries.
- Retaining walls higher than 900mm where the wall impacts the house design or feature integrity.
- E.g., wall creates grade conditions to allow a walk-out foundation, or grade conditions around a building that would otherwise not have been achieved.

I understand that all information is required to be submitted before my permit application can be reviewed, and that this will delay review of my permit application, and that a fee may be charged for incomplete applications.

I understand that as the owner I am / the owner I represent is ultimately responsible for compliance with the Construction Codes Act and Saskatchewan Building Regulations:

Owner / Applicant:

(Owner's rep)

Date:

Additional Reference Material:

Spatial Separation Requirements: fire department response time meets 10-minutes or less in 90% of calls (applies to most cities, some larger towns with hybrid FD).

Spatial Separation Requirements: fire department response time DOES NOT meet 10-minutes or less in 90% of calls (applies to all RM's, resort villages, hamlets, many towns, and even parts of some cities).

Clarification of Modular Construction

Spray Foam Data Sheet

Grade Beam and Pile Systems

Deck Construction Information / FAQ

How to build a Built-up Wood Beam

Secondary Suites

Screw Piles

Below-Grade Entries

[BCB – SPATIAL SEPARATION – FDRT < 10 MINUTES](#)

[BCB – SPATIAL SEPARATION – FDRT > 10 MINUTES](#)

[BCB – CLARIFICATION OF MODULAR CONSTRUCTION](#)

[WS – SPRAY FOAM DATA SHEET](#)

[BCB – GRADE BEAM / PILE SYSTEMS](#)

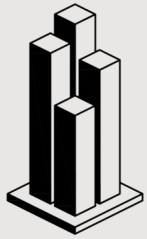
[BCB – DECK CONSTRUCTION INFO](#)

[BCB – BUILT-UP WOOD BEAMS](#)

[BCB – SECONDARY SUITES](#)

[BCB – SCREW PILES](#)

[BCB – BELOW GRADE ENTRIES](#)



Clarification of Modular Construction

PURPOSE/DISCUSSION

This report has been developed to provide clarification on the differences between modular building construction and how it relates to the National Building Code of Canada in Saskatchewan. There are a number of different standards for modular construction. Some standards are applicable to permanent structures that can be used for housing, commercial/industrial buildings. Other standards are applicable to recreational, temporary or seasonally used buildings. Modular or manufactured structures are constructed in a certified plant setting with specific design and criteria for each specific standard.

The following standards are applicable to structures that can be used for permanent structures and housing. These structures are designed and built to withstand the winter conditions, structural movement, fresh air requirements, etc and be placed on specified foundations.

CSA Z240MH—Manufactured Home (Mobile Home)

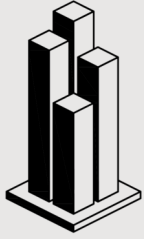
This standard of home is specific to what is referred to as a “mobile home”. These structures are specific to a residential use and designed as a transportable single or multiple-section, one storey dwelling that is ready for occupancy on completion of set-up. Frame assemblies for mobile homes are design with a deformation resistant frame which allows them to be placed on a surface riding foundation. Typical foundations include wood cribbing, piles or concrete slab. Anchorage is typically required for these units to prevent over-turning. The CSA Z240 standard has been around since 1978 and as such, some municipalities have limited the age of structure permitted in the municipality.

CSA A277—Modular/RTM Structures

This standard covers a range of factory built structures. This standard allows for the construction of housing as well as commercial and industrial buildings and have a wide range of both size and height/stories. However commercial and industrial buildings constructed in a CSA A277 plant must be designed by an engineer or architect.

There is a mis-understood notion that modular homes are the same as mobile homes, many zoning bylaws refer to modular the same as mobile homes. As some modular homes do look like mobiles because of length and width the standards are different, as well the CSA A277 standard covers modular homes and RTM's (Ready-to-move homes).

Foundation requirements for this standard are to meet the requirements of the National Building Code of Canada and are typically constructed with crawl spaces or basements. However there is permission in this standard to allow CSA A277 homes to be constructed on a CSA Z240.10.1 Deformation Resistant Frame. This is typically seen on narrower bodied homes that look similar to mobile homes.



“Clarification of modular construction”

Discussion...

The following Standards are applicable to structures that can only be used for recreational, temporary or seasonal use. These structures **are not permitted** as a permanent house or building and a building permit cannot be issued for such.

CSA Z241— Park Model Trailers

Park model trailers are designed as living quarters for seasonal camping and may be connected to those utilities. They are trailers, and as designed to facilitate relocation from time to time. They are not designed to handle winter conditions, structural movement, fresh air requirements and many more items required by the National Building Code of Canada.

CSA Z240RV— Recreational Vehicles

This standard covers vehicle-type units that are primarily designed as temporary living quarters for recreational, camping or seasonal use. Has its own motive power or is towed by another vehicle and can be easily transported and set up on a daily basis. They are not designed to handle winter conditions, structural movement, fresh air requirements and many more items required by the National Building Code of Canada.

The following Standards are applicable to structures that can be used for permanent structures and housing. These structures are designed and built to withstand the winter conditions, structural movement, fresh air requirements, etc and be placed on specified foundation.

Items to Keep in Mind

Fire Protection—These standards do not take items like spatial separations into account because it is impossible to provide assumptions on where the units will be placed on the building lot. It would be best to confirm with your Building Official as to what amount(if any) of glazing is permitted to be exposed to the side yard.

Foundations—There is a wide variety of foundations that can be used. There is also some local regulations that may not permit certain foundations such as wood cribbing. Be sure to contact your local administrator or planner if possible.

Park Model Trailers/Recreational Vehicles—These are not permanent structures, nor can they be upgraded to be permanent structures. There are no provisions in the National Building Code of Canada to be able to issue a building permit for these structures. In some circumstances there may be a requirement for a temporary permit, however this is only for a limited amount of time and can be canceled without notice.

BT WORKSHEET - MOBILE HOMES, SITE PREPARATION, AND FOUNDATION

Information:
(Home info is typically found on the inside of a kitchen cabinet or elec panel)

Year Built: _____

Manufacturer: _____

Serial No.: _____

CSA No.: _____

Length: _____

Width: _____

Pier Spacing: _____

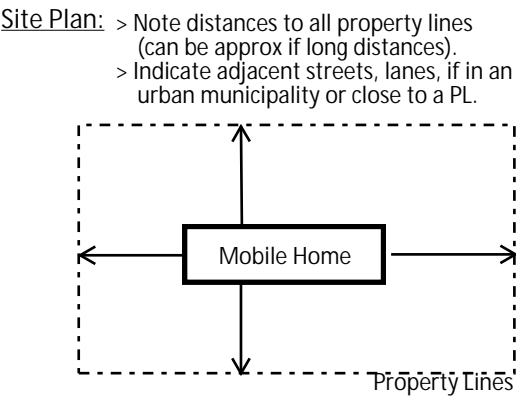
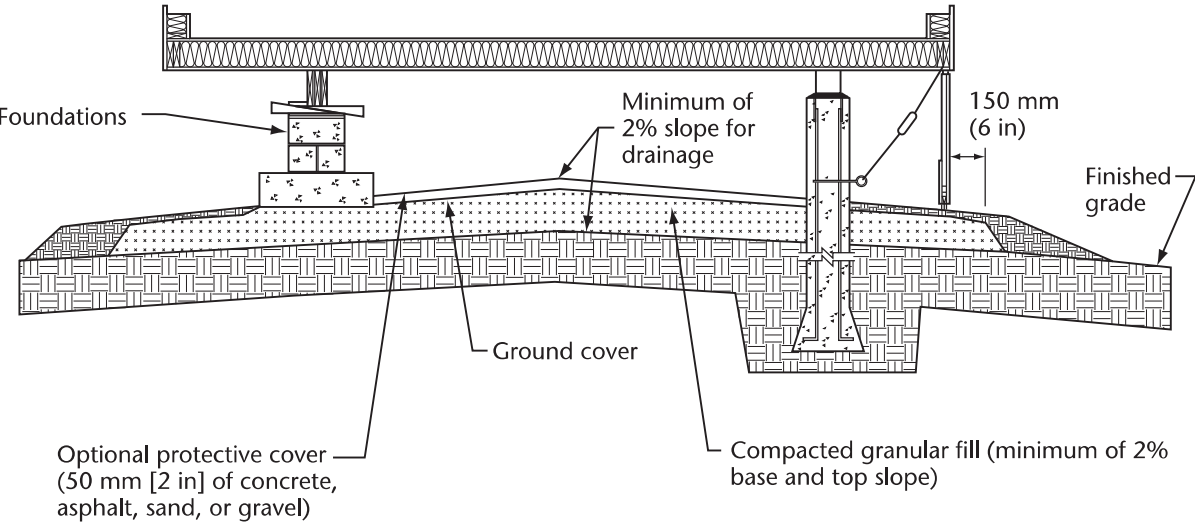


Fig 1. Foundation and Site Prep Example and Descriptions



- Notes:**
- (1) The ground cover extends at least 150 mm (6 in) past the sides of the manufactured home.
 - (2) The backfill base and ground cover are graded centre to outside or from side to side with a minimum slope of 2%.
 - (3) The surrounding finished grade slopes away from the home.

Foundation Type:

- ☐ Treated Timbers
- ☐ Concrete Blocks
- ☐ Wood Crib
- ☐ Screw Pile
- ☐ Concrete Pile

Describe Size / Spacing of Foundation System:
(provide plan if necessary)

i.e. 3" diameter screw piles / 10'o.c. along beam

i.e. 2x4 wood crib / 3'x3' / 10' o.c. along beam

Anchorage:

☐ Ground anchors not required:
The following information is required to determine if anchorage is not required:

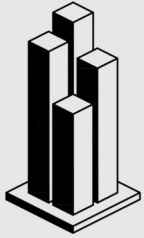
Weight: _____

Dist between main beams: _____

Height of Pier: _____

Width of Pier: _____

☐ Ground anchors to be installed:
Describe type and spacing:



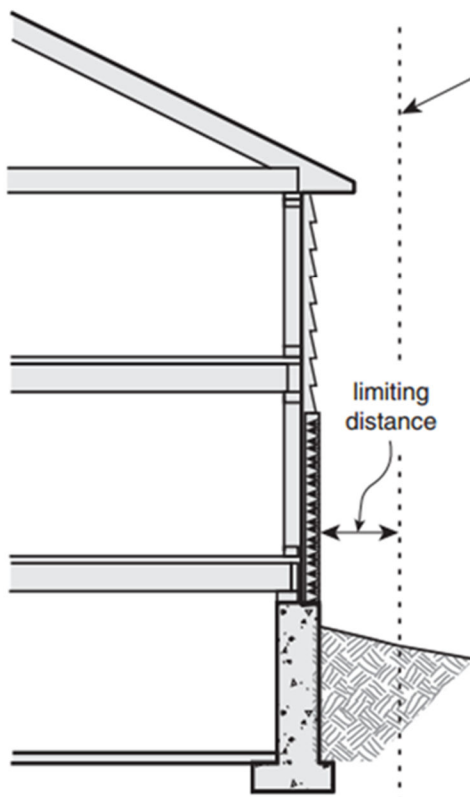
Spatial Separation - Houses & Accessory Structures

Fire Department Response Time: 10-minutes or less

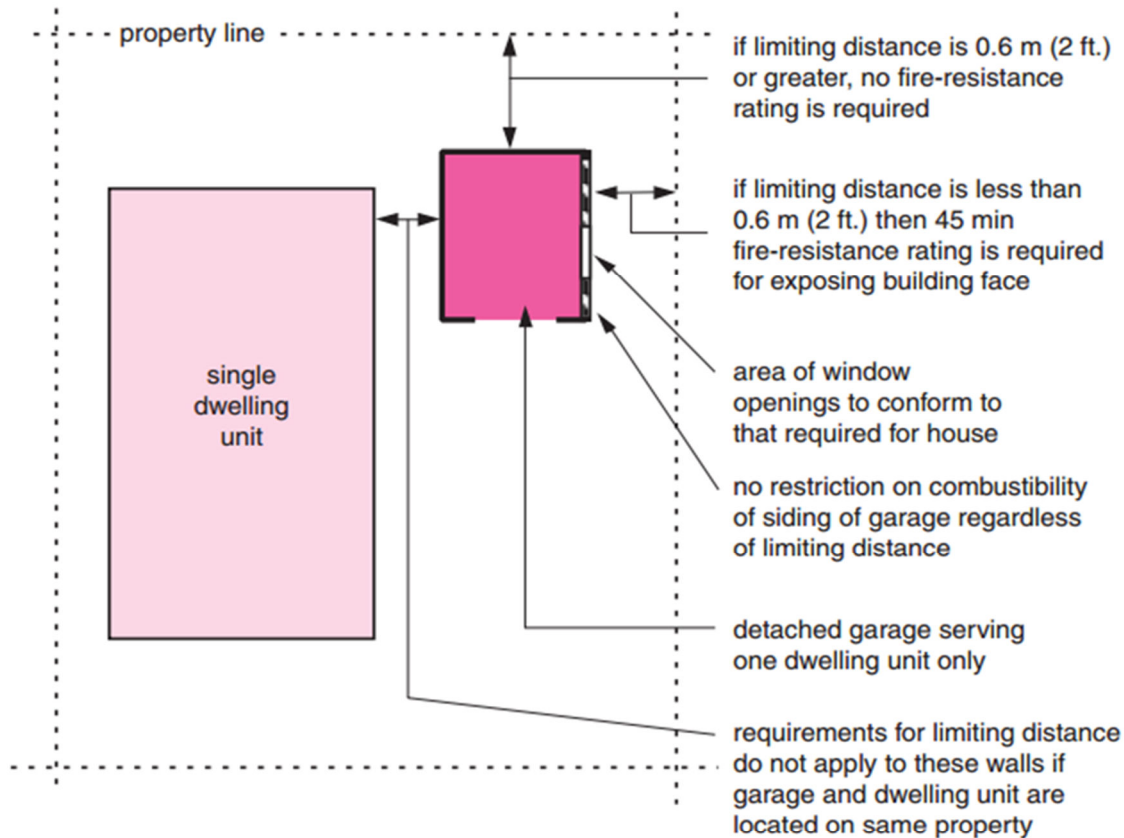
This Bulletin applies to municipalities where the fire department response time can be demonstrated to meet 10-minutes or less in 90% of their calls. This typically would be found in cities and some large towns. Many towns and municipalities where this response time cannot be met have more stringent construction of exposing building face requirements for fire protection. Please see, "BCB-005-B—Spatial Separation—Houses & Accessory Structures; Fire Department Response Time: Over 10-minutes".

The construction techniques used for building faces that are exposed to adjacent properties start to include fire protection requirements when buildings get within certain distances from neighboring property lines as outlined below. When the property is adjacent to a road, lane, or other public thoroughfare, exceptions apply and likely no fire protection requirements exist.

Exposing Building Face Requirements - Houses



Limiting Distance	Required Fire Rating	Cladding Permitted	Glazed Areas
less than 0.6 m (2 ft.)	45 min	<ul style="list-style-type: none">• Metal or noncombustible• Vinyl over gypsum sheathing or masonry• Wall to comply with CAN/ULC-S134 (See NBC Sentence 9.10.15.5.(2))	None Permitted
0.6 m (2 ft.) or greater but less than 1.2 m (3 ft. 11 in.)	45 min	<ul style="list-style-type: none">• Metal or noncombustible• Combustible over gypsum board or masonry• Vinyl over gypsum sheathing or masonry• Wall to comply with CAN/ULC-S134 (See NBC Sentence 9.10.15.5.(3))	None Permitted
1.2 m (3 ft. 11 in.) or greater	None Required	Combustible (No limit)	As in NBC Table 9.10.15.4.

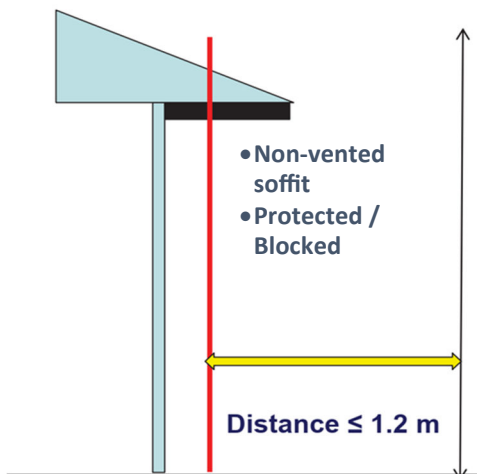
**Exposing Building Face Requirements - Accessory Structures****Protection of Soffits - ALL BUILDINGS**

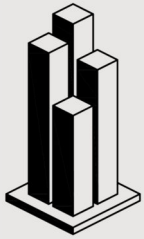
Where a soffit projects at any point within 1.2m of a property line, then the soffit shall have no openings, be constructed with non-vented metal soffit, or have solid wood blocking installed.

And... no soffit is permitted within 450mm (18") of a property line – this will affect the truss overhang for many detached garages.

⇒ If garage wall is at 750mm (30") setback, max truss overhang = 300mm (12")

⇒ If garage wall is at 600mm (24") setback, max truss overhang = 150mm (6")



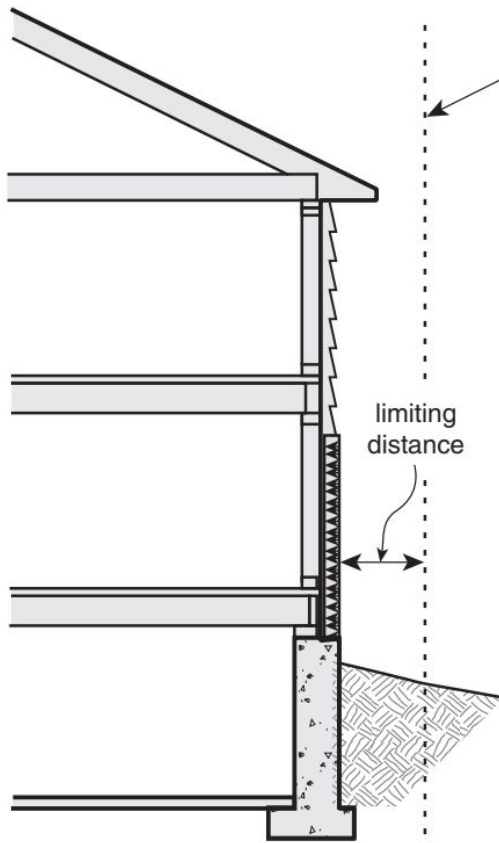


Spatial Separation - Houses & Accessory Structures

Fire Department Response Time: Over 10-minutes

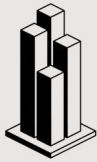
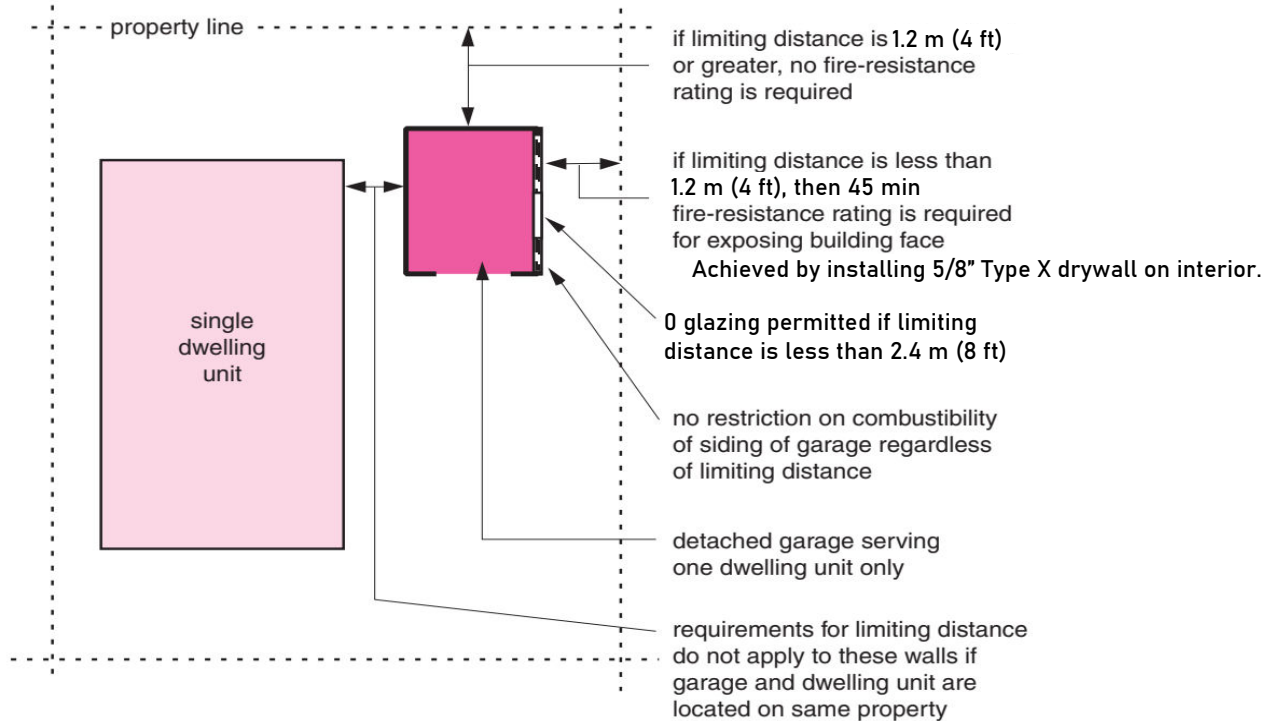
Where the local fire department response time cannot meet a 10-minute response time in 90% of their calls, additional fire protection measures are taken to reduce the spread of fire to neighboring properties. This does not affect the permitted setbacks set out in the municipal zoning bylaw, it simply means the construction techniques change to provide better fire protection as buildings get closer to property lines. When the property is adjacent to a road, lane, or other public thoroughfare, exceptions will apply.

Exposing Building Face Requirements - Houses



property line to which limiting distance is measured

Limiting Distance	Required Fire Rating	Cladding Permitted	Glazed Areas
less than 1.2m (4 ft)	Highly unlikely that any municipal zoning bylaw would permit construction of a dwelling within 1.2m of a property line; If permitted, construction of the EBF is the same as below, except no combustible cladding is permitted		
1.2m (4ft) up to 2.4m (8ft)	45 min	<ul style="list-style-type: none">• Metal or noncombustible• Combustible over gypsum board or masonry• Vinyl over gypsum sheathing or masonry• Wall to comply with CAN/ULC-S134 (See NBC Sentence 9.10.15.5.(3))	None Permitted
2.4m (8ft) or greater	None Required	Combustible (No limit)	As in NBC Table 9.10.15.4.

**Exposing Building Face Requirements - Accessory Structures****Protection of Soffits - ALL BUILDINGS**

Where a soffit projects at any point within 1.2m of a property line, then the soffit shall have no openings, be constructed with non-vented metal soffit, or have solid wood blocking installed.

And... no soffit is permitted within 450mm (18") of a property line – this will affect the truss overhang for many detached garages.

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