

NO CONSTRUCTION SHALL START PRIOR TO ACQUIRING YOUR PERMITS!!

In order to speed up the approval process, please ensure you have completed the following:

1. Zoning Requirements

- Determine your zoning type BY USING THE Zoning map on our website or contact the Village Office. To view Zoning map on the website, go to [www.debden.ca/Development and Building](http://www.debden.ca/Development%20and%20Building).
- Once the zoning type has been determined, download the correct zoning information from Development/ Zoning on our website. This information will tell you everything you need to know about what you can and cannot do on your property.

2. Development/Building Permit Application

- Building permits will not be issued without a Development Permit. No deck or building over 100 ft² shall be placed or constructed until you have been issued a permit. No deck higher than 24" off the ground shall be constructed without a permit.
- Ensure you comply with the zoning requirements, including setback requirements.
- Complete the Permit Application and submit it to the Village office along with a complete set of building plans and the \$70.00 Development and SAMA Fee.
- Your application will be forwarded to CCA-SK Construction Code Authority to ensure it complies with the National Building Code Standards.
- Once the Village has received notification from CCA-SK that your building complies with the NBCS, along with confirmation of completed building value, you will be invoiced for the review costs as provided by CCA-SK. Once the invoice has been paid, the building permits will be issued.

If you have any questions, please call our office at (306) 724-2040 or email us at office@debden.ca.

Section 6(1) The Construction Codes Act (...the owner of each building in Saskatchewan shall ensure that the building is designed, constructed, erected, added to, placed, altered, repaired, renovated, demolished, relocated, removed, used or occupied in accordance with the construction standards.”

If you have any questions related to building standards, please call CCA-SK Construction Code Authority at (306) 370-2824 or email admin@ccask.ca.

Instructions on completing Development & Building Application Package:

- Complete ALL pages and submit it to the Village office, along with a site plan and the Application Fee of \$70.00. Discretionary Use will be determined in office when application is received.
- Site plan must be completed with all setbacks clearly marked from building to all 4 property lines, north direction, all accessory buildings and drainage direction.

Application for Building Permit

- Must be completed and submitted to the Village office, along with all required drawings, information and forms included with the Permit Application Checklist from CCA-SK.

Permit Application Checklist – CCASK

- CCA-SK supplies these forms that must be completed before the permit will be approved. Once approved by CCA-SK, their invoice will be issued
- To speed up the approval process ensure all forms are completed before returning.
- Any questions regarding Energy Efficiency Compliance or the Form can be made to CCA-SK at (306)370-2824.

Application for a Permit to Demolish or Move a Building

- Must be completed and submitted to the Village office for any building to be moved into or out of the municipality. If a building exceeding 100 ft² is being relocated to another parcel within the Village, additional fees will apply as it will require an inspection.
- Must be completed and submitted to the Village office for any building to be demolished within the municipality, along with the Demolition Permit Fee and deposit. The Village must be informed when the demolition is complete. We will inform SAMA of the removal of building so your property can be re-assessed.

Applicants are responsible for conducting line locates and are responsible for any damages done during a move or demolition, including but not limited to sidewalks and roadways.

All documents must be fully completed and submitted as one package or the documents will be returned which will delay the approval process.

E-transfer: villagedebden@sasktel.net

Cheque, cash or online payment if available through your banking institution.

VILLAGE OF DEBDEN

DEVELOPMENT PERMIT / BUILDING PERMIT APPLICATION (Check ALL ☐ that apply)

Box 400
Debden, SK
S0J0S0

TYPE OF WORK:	<input type="checkbox"/> NEW	<input type="checkbox"/> ADDITION	<input type="checkbox"/> ALTERATIONS	PERMIT NO:	OFFICE USE:			
	<input type="checkbox"/> REMOVAL	<input type="checkbox"/> DEMO	<input type="checkbox"/> RELOCATION					
LOCATION	PROJECT CIVIC ADDRESS:		LLD:	1/4:	SEC:	TWP:	RGE:	<input type="checkbox"/> W3M
	SUBDIVISION:		LOT:	BLK:	PLAN:		PARCEL:	

OWNER / CONTRACTOR	Owner		Company Name (if applicable)			
	Mailing Address		City		Prov	PC
	Phone (Check best use) <input type="checkbox"/> Cell <input type="checkbox"/> Other		Email (Most correspondence will be by email)			
	Contractor / Company		Phone		Email	

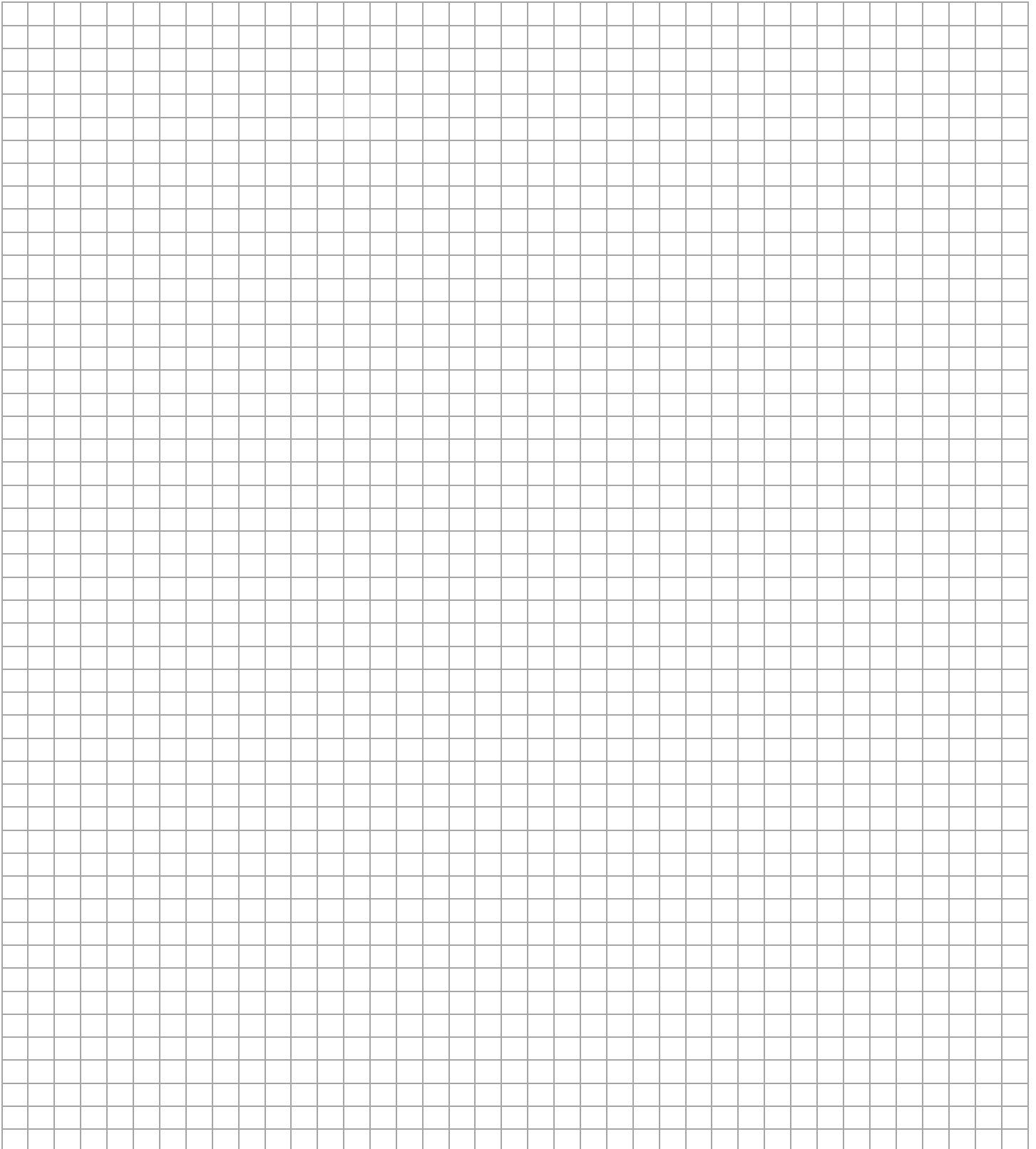
START DATE:	COMPLETION DATE:	ESTIMATED VALUE OF CONSTRUCTION:
NOTE: "Value" of construction is not the same as "cost" of construction; see bylaw for definition. A revised value may be determined.		

TYPE OF PROJECT	<input type="checkbox"/> RESIDENTIAL:	<input type="checkbox"/> SITE BUILT HOME	<input type="checkbox"/> RTM	<input type="checkbox"/> MOBILE HOME	<input type="checkbox"/> DECK	<input type="checkbox"/> DET GARAGE	<input type="checkbox"/> BSMT DEV
	DETAILED DESCRIPTION: (I.E. NEW CUSTOM HOME; RELOCATING EXISTING HOME; CONSTRUCTING NEW FOUNDATION FOR EXISTING HOUSE; DET. GARAGE; ETC.)						
	<input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL	<input type="checkbox"/> SHOP / STORAGE	<input type="checkbox"/> VEHICLE STORE/REPR	<input type="checkbox"/> RETAIL <input type="checkbox"/> OFFICE	<input type="checkbox"/> ASSEMBLY (I.E. RESTAURANT / CHURCH / HALL / GYM)	<input type="checkbox"/> CHANGE OF USE (Lot or Building)	<input type="checkbox"/> INCREASE INTENSITY (Lot or Building)
	OTHER / DETAILED DESCRIPTION: (I.E. COLD STORAGE; RENO SPACE FOR NEW COFFEE SHOP; TRUCK STORAGE & REPAIR W/ OFFICES; NEW HOTEL, ETC.) (Description of Proposed New Use, How is intensity increased- (more seating, additional floor area/new rooms)						

SUBMITTALS	<input type="checkbox"/> Site Plan Submitted	A SITE PLAN IS REQUIRED FOR ALL PROJECTS	
	<input type="checkbox"/> Drawings Submitted OR	Complete Drawing Package, including elevations, floor plans, sections, and details	Required for ALL projects, unless a deck or detached garage (use Worksheet)
	<input type="checkbox"/> Worksheet Submitted	CCASK Worksheet (in lieu of drawings); for decks and detached garage projects	See www.ccask.ca
	PERMIT APPLICATIONS WILL NOT BE PROCESSED UNTIL ALL REQUIRED INFORMATION HAS BEEN RECEIVED		

APPLICANT SIGNATURE	<p>I hereby acknowledge that I have read this application and certify that the information contained herein is correct.</p> <p>I hereby acknowledge that I understand that permission to begin building is not granted to me until a Building Permit signed by the building official, administrator, or administration staff is returned to me.</p> <p>I hereby agree to comply with the Building Bylaw of the local authority and acknowledge that it is my responsibility to ensure compliance with the Building Bylaw and Zoning Bylaw of the local authority and with any other applicable bylaws, acts and regulations regardless of any plan review or inspections that may or may not be carried out by the local authority or its authorized representative.</p> <p>I agree to perform all construction work solely in accordance & compliance with the information & plans provided by me in this application and will obtain all other work permits required in conjunction with my development.</p>	
	Applicant Signature	Date

VILLAGE OF DEBDEN
— SASKATCHEWAN —
SITE PLAN / VICINITY MAP



Additional Information

Please reference which section the additional information is referring too.

[illegible]

VILLAGE OF DEBDEN
DEMOLITION/BUILDING REMOVAL APPLICATION

Applicant/Owner

Name _____ Name of Owner (if different than applicant) _____
Address _____ Phone Number _____

Moving

I hereby make application for a permit to move a building now situated on:

Civic Address _____ Lot _____ Block _____ Plan _____ Roll# _____

To Civic Address _____ Lot _____ Block _____ Plan _____ Roll # _____

OR Out of the Municipality to _____.

To be moved on _____, 20____. The building will be moved over the following route:

_____.

Demolition

I hereby make application for a permit to demolish a building now situated on:

Civic Address _____ Lot _____ Block _____ Plan _____ Roll# _____ to
Commence on _____ and will be completed by _____.

The building has the following dimensions _____

The mover/contractor will be: _____

The site work (filling, final grading, landscaping etc) which will be done after the removal/demolition includes:

I hereby agree to comply with the Building Bylaw of the Village of Debden and to be responsible and pay for any damage done to any property as a result of moving or demolition of the said building, and to deposit such sum as may be required by Section 7(a) of the Building Bylaw. I acknowledge that it is my responsibility to ensure compliance with any other applicable bylaws, Acts and Regulations and to obtain all required permits and approvals prior to demolishing or moving the building.

Date

Signature of Owner or Owners Agent

VILLAGE OF DEBDEN

REQUIREMENTS FOR A DEMOLITION/MOVING PERMIT

Description of Structure or Building to be moved or demolished _____

The following information must be submitted in order to obtain a permit.

1. Application
2. Copy of site plan indicating location in relation to property lines and other buildings.
3. Type of demolition (Heavy Equipment or by hand)
4. Route of disposal of material or route of house move (provide map) Main Street not an option.

General Requirements

1. Before demolition begins, ensure that a fire safety plan exists.
2. Asbestos containing material must be removed prior to demolition of structure by a professional certified in the Province of Saskatchewan.
3. Disconnection of all services to buildings or adjacent buildings being demolished must be specified (power, natural gas, water/sewer, cable telephone and any other services not mentioned.) Water and sewer must be capped. Foreman will need to confirm before backfilling.
4. Line locates for all utility providers must be completed for demolition.
5. When a construction or demolition activity may constitute a hazard to the public, a strongly constructed fence or barricade shall be erected between the site and the public way or open sides of site.
6. Precautions shall be taken to ensure no person is exposed to undue risk.
7. Adjoining properties are to be protected from any damage that can occur to building, foundation or fences during the demolition work.
8. Any damage to Village streets, sidewalks, curbs, or any other Village property caused during the demolition/moving shall be repaired by the Owner or will be repaired by the Village with the costs of such repair being payable by the Owner.
9. No part of the demolition, at any time, shall be left standing unsupported in an unstable condition and in danger of accidental collapse.
10. All concrete slabs, footings and foundations shall be removed. Concrete is to be hauled to Hwy 55 Waste site.
11. Any tanks containing combustible liquids must be removed before demolition begins, in a safe approved manner.
12. It is the responsibility of the applicant to call for final inspection once demolition is complete and site is leveled and cleared.

Supplement to

Form C to

Bylaw 5/2020

VILLAGE OF DEBDEN

INSPECTION CHECKLIST FOR DEMOLITION/MOVING PERMIT

Box 400
Debden, SK.
S0J0S0

Development Permit # _____

Name _____ Civic Address _____ Lot _____ Block _____ Plan _____

YES **NO** **N/A**

☐ ☐ ☐ All Utilities at the Site are disconnected properly

☐ ☐ ☐ Sidewalk and roadway are protected and in good condition

☐ ☐ ☐ Adjoining buildings are protected against damage with adequate safeguards

☐ ☐ ☐ Existing grades have remained unchanged

☐ ☐ ☐ Excavations backfilled and levelled

☐ ☐ ☐ Water and Sewer Capped and Inspected

☐ ☐ ☐ Settlement and damages found around existing site, abutting properties due to excavating

☐ ☐ ☐ All debris and waste removed from site, abutting properties. Site properly cleaned and graded

☐ ☐ ☐ Septic System associated with site has been removed properly

Additional Comments or Concerns:

Approved by Village Foreman/Council

Date

Amount of Deposit: \$ 500.00

Cost of Repairs/Clean Up \$ _____

Amount of Deposit Returned \$ _____

Return Deposit to: _____

Administrator

Applicant