

## **NO CONSTRUCTION SHALL START PRIOR TO ACQUIRING YOUR PERMITS!!**

**In order to speed up the approval process, please ensure you have completed the following:**

1. Zoning Requirements

- Determine your zoning type BY USING THE Zoning map on our website or contact the Village Office. To view Zoning map on the website, go to [www.debden.ca/Development and Building](http://www.debden.ca/Development%20and%20Building).
- Once the zoning type has been determined, download the correct zoning information from Development/ Zoning on our website. This information will tell you everything you need to know about what you can and cannot do on your property.

2. Development/Building Permit Application

- Building permits will not be issued without a Development Permit. No deck or building over 100 ft<sup>2</sup> shall be placed or constructed until you have been issued a permit. No deck higher than 24" off the ground shall be constructed without a permit.
- Ensure you comply with the zoning requirements, including setback requirements.
- Complete the Permit Application and submit it to the Village office along with a complete set of building plans and the \$70.00 Development and SAMA Fee.
- Your application will be forwarded to CCA-SK Construction Code Authority to ensure it complies with the National Building Code Standards.
- Once the Village has received notification from CCA-SK that your building complies with the NBCS, along with confirmation of completed building value, you will be invoiced for the review costs as provided by CCA-SK. Once the invoice has been paid, the building permits will be issued.

If you have any questions, please call our office at (306) 724-2040 or email us at [office@debden.ca](mailto:office@debden.ca).

**Section 6(1) The Construction Codes Act** (...the owner of each building in Saskatchewan shall ensure that the building is designed, constructed, erected, added to, placed, altered, repaired, renovated, demolished, relocated, removed, used or occupied in accordance with the construction standards.”

If you have any questions related to building standards, please call CCA-SK Construction Code Authority at (306) 370-2824 or email [admin@ccask.ca](mailto:admin@ccask.ca).

**Instructions on completing Development & Building Application Package:**

- Complete ALL pages and submit it to the Village office, along with a site plan and the Application Fee of \$70.00. Discretionary Use will be determined in office when application is received.
- Site plan must be completed with all setbacks clearly marked from building to all 4 property lines, north direction, all accessory buildings and drainage direction.

**Application for Building Permit**

- Must be completed and submitted to the Village office, along with all required drawings, information and forms included with the Permit Application Checklist from CCA-SK.

**Permit Application Checklist – CCASK**

- CCA-SK supplies these forms that must be completed before the permit will be approved. Once approved by CCA-SK, their invoice will be issued
- To speed up the approval process ensure all forms are completed before returning.
- Any questions regarding Energy Efficiency Compliance or the Form can be made to CCA-SK at (306)370-2824.

**Application for a Permit to Demolish or Move a Building**

- Must be completed and submitted to the Village office for any building to be moved into or out of the municipality.
- Must be completed and submitted to the Village office for any building to be demolished within the municipality, along with the Demolition Permit Fee and deposit. The Village must be informed when the demolition is complete. We will inform SAMA of the removal of building so your property can be re-assessed.

All documents must be fully completed and submitted as one package or the documents will be returned which will delay the approval process.

E-transfer: [villagedebden@sasktel.net](mailto:villagedebden@sasktel.net)

Cheque, cash or online payment if available through your banking institution.

# VILLAGE OF DEBDEN

## DEVELOPMENT PERMIT / BUILDING PERMIT APPLICATION (Check ALL ☐ that apply)

Box 400  
Debden, SK  
S0J0S0

TYPE OF WORK:	<input type="checkbox"/> NEW	<input type="checkbox"/> ADDITION	<input type="checkbox"/> ALTERATIONS	PERMIT NO:	OFFICE USE:			
	<input type="checkbox"/> REMOVAL	<input type="checkbox"/> DEMO	<input type="checkbox"/> RELOCATION					
LOCATION	PROJECT CIVIC ADDRESS:		LLD:	1/4:	SEC:	TWP:	RGE:	<input type="checkbox"/> W3M
	SUBDIVISION:		LOT:	BLK:	PLAN:		PARCEL:	

OWNER / CONTRACTOR	Owner		Company Name (if applicable)			
	Mailing Address		City		Prov	PC
	Phone (Check best use) <input type="checkbox"/> Cell <input type="checkbox"/> Other		Email (Most correspondence will be by email)			
	Contractor / Company		Phone		Email	

START DATE:	COMPLETION DATE:	ESTIMATED VALUE OF CONSTRUCTION:
NOTE: "Value" of construction is not the same as "cost" of construction; see bylaw for definition. A revised value may be determined.		

TYPE OF PROJECT	<input type="checkbox"/> RESIDENTIAL:	<input type="checkbox"/> SITE BUILT HOME	<input type="checkbox"/> RTM	<input type="checkbox"/> MOBILE HOME	<input type="checkbox"/> DECK	<input type="checkbox"/> DET GARAGE	<input type="checkbox"/> BSMT DEV
	DETAILED DESCRIPTION: (I.E. NEW CUSTOM HOME; RELOCATING EXISTING HOME; CONSTRUCTING NEW FOUNDATION FOR EXISTING HOUSE; DET. GARAGE; ETC.)						
	<input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL	<input type="checkbox"/> SHOP / STORAGE	<input type="checkbox"/> VEHICLE STORE/REPR	<input type="checkbox"/> RETAIL <input type="checkbox"/> OFFICE	<input type="checkbox"/> ASSEMBLY (I.E. RESTAURANT / CHURCH / HALL / GYM)	<input type="checkbox"/> CHANGE OF USE (Lot or Building)	<input type="checkbox"/> INCREASE INTENSITY (Lot or Building)
	OTHER / DETAILED DESCRIPTION: (I.E. COLD STORAGE; RENO SPACE FOR NEW COFFEE SHOP; TRUCK STORAGE & REPAIR W/ OFFICES; NEW HOTEL, ETC.) (Description of Proposed New Use, How is intensity increased- (more seating, additional floor area/new rooms)						

SUBMITTALS	<input type="checkbox"/> Site Plan Submitted	<b>A SITE PLAN IS REQUIRED FOR ALL PROJECTS</b>	
	<input type="checkbox"/> Drawings Submitted OR	Complete Drawing Package, including elevations, floor plans, sections, and details	Required for ALL projects, unless a deck or detached garage (use Worksheet)
	<input type="checkbox"/> Worksheet Submitted	CCASK Worksheet (in lieu of drawings); for decks and detached garage projects	See <a href="http://www.ccask.ca">www.ccask.ca</a>
	PERMIT APPLICATIONS WILL NOT BE PROCESSED UNTIL ALL REQUIRED INFORMATION HAS BEEN RECEIVED		

APPLICANT SIGNATURE	<p>I hereby acknowledge that I have read this application and certify that the information contained herein is correct.</p> <p>I hereby acknowledge that I understand that permission to begin building is not granted to me until a Building Permit signed by the building official, administrator, or administration staff is returned to me.</p> <p>I hereby agree to comply with the Building Bylaw of the local authority and acknowledge that it is my responsibility to ensure compliance with the Building Bylaw and Zoning Bylaw of the local authority and with any other applicable bylaws, acts and regulations regardless of any plan review or inspections that may or may not be carried out by the local authority or its authorized representative.</p> <p>I agree to perform all construction work solely in accordance &amp; compliance with the information &amp; plans provided by me in this application and will obtain all other work permits required in conjunction with my development.</p>	
	<p>Applicant Signature _____ Date _____</p>	

**FOR NEW CONSTRUCTION PROVIDE A DETAILED SITE PLAN, drawn to scale showing, with labels, the following existing and proposed information:**

- a) a scale and north arrow;
- b) a legal description of the site;
- c) dimensions of site;
- d) bylaw site line setbacks including front, rear, and side yard requirements,
- e) site topography and special site conditions (which may require a contour map), including culverts, ditches, and any other drainage features,
- f) the location of any buildings, structures, easements, and dimensioned to the site lines;
- g) the location of trees and other vegetation, especially natural vegetation, street trees, and mature growth;
- h) proposed on-site and off-site services;
- i) a dimensioned layout of parking areas, entrances, and exits;
- j) abutting roads and streets, including service roads and alleys;
- k) an outline, to scale, of adjacent buildings on adjoining sites;
- l) fencing;
- m) proposed location of sewer and water lines;
- n) other, as required by the Development Officer or Council to effectively administer this Bylaw

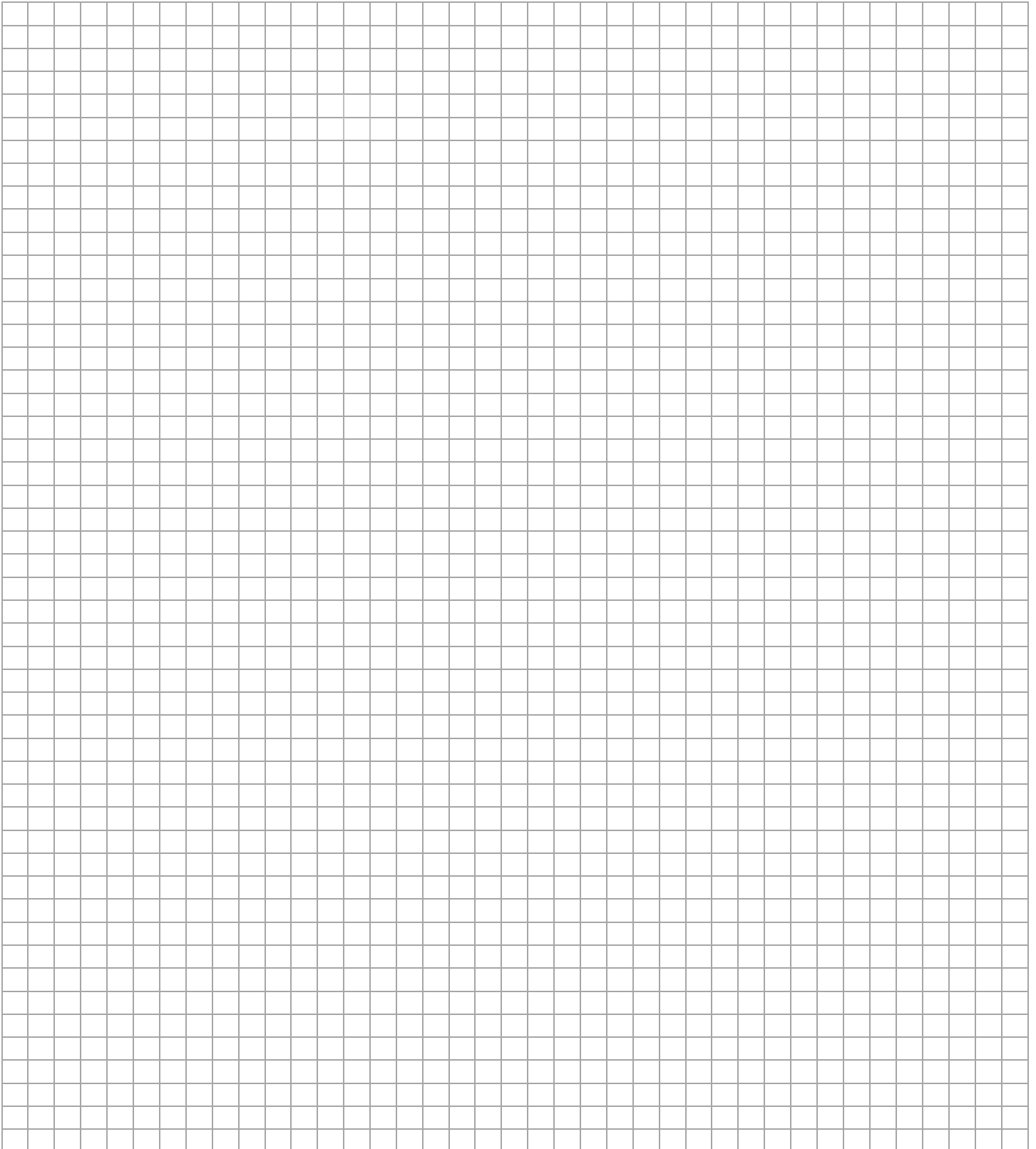
**Mobile Homes:** C.S.A.Z240 Approval Number (from Black and Silver Sticker)

Mobile Home date of Manufacture: \_\_\_\_\_

**FOR CHANGE OF USE PROVIDE ADDITIONAL INFORMATION DETAILS SUCH AS:**

- a) Existing Use of Building/Lot including existing size
- b) Proposed Use of Building/Lot including proposed size if changing
- c) Proposed construction or alterations to be done to meet the proposed use
- d) If increasing intensity- how will it be increased- More seating? More floor space? More rooms?
- e) What are the uses of the adjoining lots?
- f) Any additional relevant information.

**VILLAGE OF DEBDEN**  
— SASKATCHEWAN —  
SITE PLAN / VICINITY MAP



## Additional Information

Please reference which section the additional information is referring too.

[illegible]

## BASEMENT DEVELOPMENT CHECKLIST

Provide the following information, and submit with permit application for a residential basement development.  
(See reverse side for applicable code requirements)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Municipality: \_\_\_\_\_

### FLOOR PLAN:

Along with the information to be provided with this form, a floor plan 'sketch' is required to be provided. The sketch can be hand-drawn and not-to-scale. The floor plan should include the following information:

- Overall dimensions of basement
- Room sizes
- Window sizes and type (bedroom egress)
- Location of smoke alarm(s) / carbon-monoxide alarm(s)
- Plumbing facilities
- Fireplace (note gas, wood burning, or other)

### BASEMENT INSULATION DETAILS

CHECK ALL APPROPRIATE BOXES  
FILL IN ANY REQUIRED BLANKS

#### FOUNDATION TYPE:

- ☐ CONCRETE FULL HEIGHT
- ☐ CONCRETE WALL W/ WOOD FRAME PONY WALL
- ☐ INSULATED CONCRETE FORM (ICF)
- ☐ PRESERVED WOOD (PWF)
- ☐ OTHER: \_\_\_\_\_

#### PROTECTION FROM DAMPNESS:

- ☐ PT BOTTOM PLATE
- ☐ SEPARATED BY POLY / SILL GASKET

(☐ EXISTING) SOIL GAS BARRIER:  
FLEXIBLE SEALANT INSTALLED AT  
PERIMETER OF SLAB AND  
PENETRATIONS

#### RIM JOIST DETAILS: (☐ EXISTING)

- ☐ BATT INSUL W/ POLY
- ☐ INSULATED RIM JOIST PANEL
- ☐ SPRAY FOAM
- ☐ OTHER: \_\_\_\_\_

#### FOUNDATION INSULATION DETAILS: (☐ EXISTING)

- ☐ 2x \_\_\_\_\_, R \_\_\_\_\_ (FIBERGLASS / MINERAL WOOL)
  - ☐ 6-mil CGSB POLY AIR / VAPOUR BARRIER (WARM SIDE)
  - ☐ RIGID INSULATION APPLIED TO FOUNDATION WALLS  
(MUST HAVE VAPOUR PERMEANCE GREATER THAN  
170 ng / (Pa \* s \* m2) WHERE APPLIED ABOVE GRADE)
- ☐ ICF INSULATED FORM
- ☐ SPRAY FOAM
- ☐ OTHER: \_\_\_\_\_

#### FINISH DETAILS: (☐ EXISTING)

- ☐ \_\_\_\_\_" DRYWALL
- ☐ \_\_\_\_\_" OSB / PLYWOOD
- ☐ OTHER: \_\_\_\_\_

DAMPPROOFING REQUIRED ON CONCRETE TO  
GRADE HEIGHT ONLY, IF WOOD FRAMING MEMBERS  
IN CONTACT WITH CONCRETE

#### DAMPPROOFING DETAILS: (☐ EXISTING)

- ☐ EMULSIFIED ASPHALT / TAR
- ☐ 6 mil CGSB POLY (SLIT OPENINGS IF  
INSTALLED ABOVE GRADE)
- ☐ OTHER: \_\_\_\_\_

### OTHER CHECK ITEMS:

- ☐ Handrail provided at stairs to basement.
- ☐ Stairs protected by walls or guard rail.
- ☐ Bathroom exhausted by:
  - ☐ Fan (w/switch) vented directly to outdoors
  - ☐ Connection to existing house ventilation system (w/ switch)

### INTERIOR WALL FRAMING:

- ☐ 2x \_\_\_\_\_ @ \_\_\_\_\_ inch o.c.
- ☐ PT bottom plate, or
- ☐ Poly / sill gasket concrete separation
- ☐ Steel stud framing

Prepared by

**BuildTECH** Consulting & Inspections Inc.

www.buildtechinspections.ca

## BASEMENT DEVELOPMENT CHECKLIST, PAGE 2

### CODE ARTICLES

NBCC 2010	Description  The following NBCC Article descriptions are summaries of the articles and sentences, not the actual NBCC 2010 code article.
9.9.10.1.	<p>The bedroom windows must comply with the requirements of Section 9.9.10.1., including the following:</p> <ul style="list-style-type: none"> <li>• Openable without the use of keys, tools, or special knowledge, and without the removal of sashes or hardware, and</li> <li>• Have an unobstructed opening of not less than 0.35 m<sup>2</sup> (3.8 f<sup>2</sup>) with no dimension less than 380 mm (15 inches), and maintain the required opening during an emergency without the need for additional support.</li> </ul>
9.8.7.1.	A handrail is required at interior stairs with more than 2 risers.
9.8.8.1.	Flights of steps and landings shall be protected by a guard on each side that is not protected by a wall for the length where there is a difference in elevation of more than 600 mm (24") between the walking surface and the adjacent surface.
9.10.19.1.	A hardwired smoke alarm is required on all floor levels. On floor levels where bedrooms are located, they shall be installed <b>in each bedroom</b> , plus one in the hallway or living space on that same level. All smoke alarms in the dwelling shall be interconnected.
9.13.2.6.	Where wood framing members are in contact with the concrete foundation walls, the concrete wall is required to have dampproofing installed starting at the basement floor and terminating at ground level.
9.13.4.7.	The perimeter of the basement floor slab, and all penetrations shall be sealed with a flexible sealant to prevent soil gas leakage.
9.23.2.3.	The wall bottom plates are required to be pressure-treated, or separated from the concrete with .05 mm polyethylene sheet.
9.25.2.1.	Exterior basement walls shall be insulated sufficiently enough to prevent moisture condensation on their room side during the winter.
9.25.3.1.	Insulated walls shall be constructed with an air / vapour barrier system to provide a continuous barrier to air and vapour leakage. Polyethylene sheet air / vapour barrier shall be 6 mil CGSB polyethylene sheet made continuous at all joints and penetrations.
9.32.3.7.	The bathroom requires an exhaust fan that is exhausted directly to the outdoors, or be exhausted by the house ventilation system.
9.32.3.9.	A carbon monoxide detector is required in each bedroom, or within 5m of each bedroom door. A properly located combination smoke / CO alarm will satisfy this requirement. Plug-in style carbon monoxide detectors do not meet this requirement.